

FIRST FLOOR DEMOLITION PLAN

1/8" = 1'-0"

DEMOLITION KEY NOTES-FLOOR PLANS

1. GENERALLY, REMOVE ALL FINISHES IN THE EXISTING BUILDING
2. REMOVE ANY TOILET FIXTURES AND DOORS THIS CLOSET FOR FUTURE MOP SINK AND STORAGE
3. EXISTING MECHANICAL AND ELECTRICAL PANEL IN THIS SPACE. COORDINATE SELECTIVE DEMOLITION AND REMOVAL OF ANY EQUIPMENT WITH SUBCONTRACTORS WITH EXISTING OR EQUIPMENT IN THIS SPACE.
4. COORDINATE ANY DEMOLITION AND FIXTURE REMOVAL IN THE KITCHEN AREA WITH THE KITCHEN DESIGN PLAN. REMOVE ALL EQUIPMENT DESIGNATED TO BE REMOVED AND ALL FLOOR WALL AND CEILING FINISHES AS ARE ACCESSIBLE EQUIPMENT DESIGNATED NOT TO BE REMOVED (IE: HOOD AND FIRE SUPPRESSION SYSTEM) SHALL BE COVERED AND PROTECTED DURING DEMOLITION.
5. EXISTING WINDOW CONFIGURATION TO BE REMOVED AS REQ'D FOR NEW SMALLER DOOR OPENING (SEE FIRST FLR. PLAN)
6. NEW OPENING IN THIS EXISTING MASONRY WALL. SEE THE STRUCTURAL DOCUMENTS FOR DETAILS AND SUPPORT CONDITIONS
7. REMOVE EXISTING WROUGHT IRON RAIL WHICH SHALL BE REPLACED WITH NEW RAIL THAT ADHERES TO THE CURRENT BUILDING CODE REQUIREMENTS FOR HEIGHT AND SPINDLE SPACING
8. REMOVE ALL BAR EQUIPMENT, COUNTERS AND FINISHES
9. REMOVE EXISTING BLOCK WALL AS SHOWN TO PROVIDE FOR NEW LARGER OPENING INTO WHAT WILL BE THE NEW LIBRARY. SEE THE STRUCTURAL DRAWINGS FOR NEW STEEL BEAM SUPPORT FOR THE FLOOR ABOVE.
10. NEW WINDOW OPENINGS IN THE EXISTING MASONRY FOYER WALLS. SEE THE DEMOLITION ELEVATIONS AND NEW FRONT ELEVATIONS FOR LOCATION. COORDINATE THE SIZE OF THE OPENINGS WITH THE FINAL WINDOW MANUFACTURERS SELECTED WINDOW UNITS. SEE THE STRUCTURAL DRAWINGS FOR NEW LINTELS AND SUPPORT CONDITIONS FOR THE NEW OPENINGS. PROVIDE HEAD FLASHING AND SILL END DAM FLASHING SAME AS NEW WINDOW DETAILS.
11. REMOVE EXISTING COVERED PORCH STRUCTURE AND CONCRETE BASE SLAB AND STEPS. SEE FLOOR PLANS, ELEVATIONS AND STRUCTURAL DRAWINGS FOR NEW PORCH CONFIGURATION.
12. REMOVE ALL PLUMBING FIXTURES, WALLS AND FINISHES IN EXISTING RESTROOM AREA. SEE THE NEW PLAN PLAN LAYOUT IN THIS AREA FOR AMOUNT OF EXISTING CONCRETE SLAB THAT WILL NEED TO BE REMOVED TO ACCOMMODATE NEW RESTROOM LAYOUT.
13. NEW OPENING IN EXISTING CONCRETE BLOCK WALL. SEE ARCHITECTURAL PLAN FOR BEAM OR LINTEL SIZES AND SUPPORT CONDITIONS.
14. REMOVE DOORS AND FINISHES FROM EXISTING WALK IN CLOSETS. SEE ARCHITECTURAL FLOOR PLANS FOR NEW SIDE ENTRY OPENING. CONTRACTOR TO FIELD DETERMINE IF EXISTING FRAMING MEMBERS CAN REMAIN OR IF CLOSETS WILL NEED TO BE REBUILT.
15. ALL FINISHES IN THE CORRIDOR TO BE REMOVED. CONTRACTOR TO FIELD DETERMINE AMOUNT OF EXISTING WALL FRAMING MEMBERS THAT CAN REMAIN OR IF ALL MEMBERS NEED TO BE REPLACED TO ACCOMMODATE THE NEW CORRIDOR PARTITION CONFIGURATION. SEE THE ARCHITECTURAL PLAN FOR CORRIDOR PARTITION TYPE.
16. REMOVE EXISTING THROUGH WALL MECHANICAL UNITS AND SECURE OPENING WITH TEMPORARY PLYWOOD AND FRAME FILL. COORDINATE DISPOSITION OF ALL WINDOW UNITS WITH THE OWNER (TYP.)
17. FIELD DETERMINE IF EXISTING 6" CONCRETE BLOCK WALL IS LOAD BEARING. DEMOLITION PLANS INDICATE FOR THE WALL TO BE REMOVED. ORIGINAL CONSTRUCTION DRAWINGS WOULD INDICATE THE WALL IS A NON LOAD BEARING PARTITION, BUT THE ORIGINAL FOUNDATION PLANS INDICATE THAT THE WALL GETS A SPREAD FOOTING BELOW IT. FIELD DETERMINE STATUS AND NOTIFY THE ARCHITECTS AND STRUCTURAL ENGINEER THE FINDINGS IN THE FIELD.
18. REMOVE WALK-IN CLOSETS
19. REMOVE THE MASONRY CHIMNEY AS REQUIRED TO BE CONTAINED WITHIN NEW ROOF FRAMING. EXISTING FIREPLACE TO BE FITTED WITH A NEW GAS FIREPLACE INSERT AND CHIMNEY LINER. CHIMNEY CAP TO COME OUT ON REAR OF ROOF AS TO NOT BE AS VISIBLE FROM THE FRONT OF THE HOUSE (FIELD DETERMINE).
20. REMOVE ALL FINISHES IN THIS EXISTING LOUNGE. PROVIDE OSB BRD. AND DRYWALL FINISH AT WALLS. CONTRACTOR TO DETERMINE WITH OWNER THE DISPOSITION OF THE BIG SCREEN TV. FRAME IN OPENING WHERE TV IS IF TO BE REMOVED.
21. REMOVE ALL ITEMS THAT ARE IN STORAGE IN THIS AREA. MECHANICAL CONTRACTOR TO SURVEY THIS AREA AND DETERMINE ITEMS TO BE LEFT OR REMOVED. MAINTAIN INSULATION IN THIS SPACE.
22. EXISTING 8" BLK WALL WITH DW FURRING, MAINTAIN FURRING AND REPAIR AS REQUIRED (TYP. IN FOYER AND LIBRARY)
23. REMOVE CLOSETS AND SHELVING SHOWN DASHED

Demolition General Notes

1. These Demolition Requirements are intended to be used only as a guide. Complete coordination with extent of proposed work is required. Demolition requires the selective removal and subsequent off site disposal of all portions of building structure indicated on drawings to be removed and as required to accommodate new construction.
2. Remove Debris, rubbish and other materials resulting from demolition operations from building site. Transport and legally dispose of demolition debris, comply with applicable regulations, laws and ordinances concerning removal, handling and protection against exposure or environmental pollution. Burning of removed materials is not permitted on project site.
3. The Architect and/or Owner shall be notified of any unforeseen conditions uncovered during demolition that were not provided for and may impede the process.
4. The Architect and the Architect's employees and consultants shall have no responsibility for the discovery, presence, handling, removal, or disposal of, or exposure of persons to hazardous materials in any form at the project site, including but not limited to asbestos, asbestos products, polychlorinated biphenyl (PCB) or other toxic substances.
5. All partitions, windows, doors and cabinetry shown dashed shall be removed. Including all electrical devices which shall be removed along with partitions, and wires shall be killed to a point so as not to interfere with new construction.
6. Doors and windows to be removed (TBR) shall also have all trim, casing jamb/head boards and hardware removed, down to existing finish. Note! Some doors may be salvaged for reuse.
7. Remove and salvage existing millwork/moldings where applicable for possible reuse.

date:05/11/10
revised:

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CONSTRUCTION DRAWINGS OF:

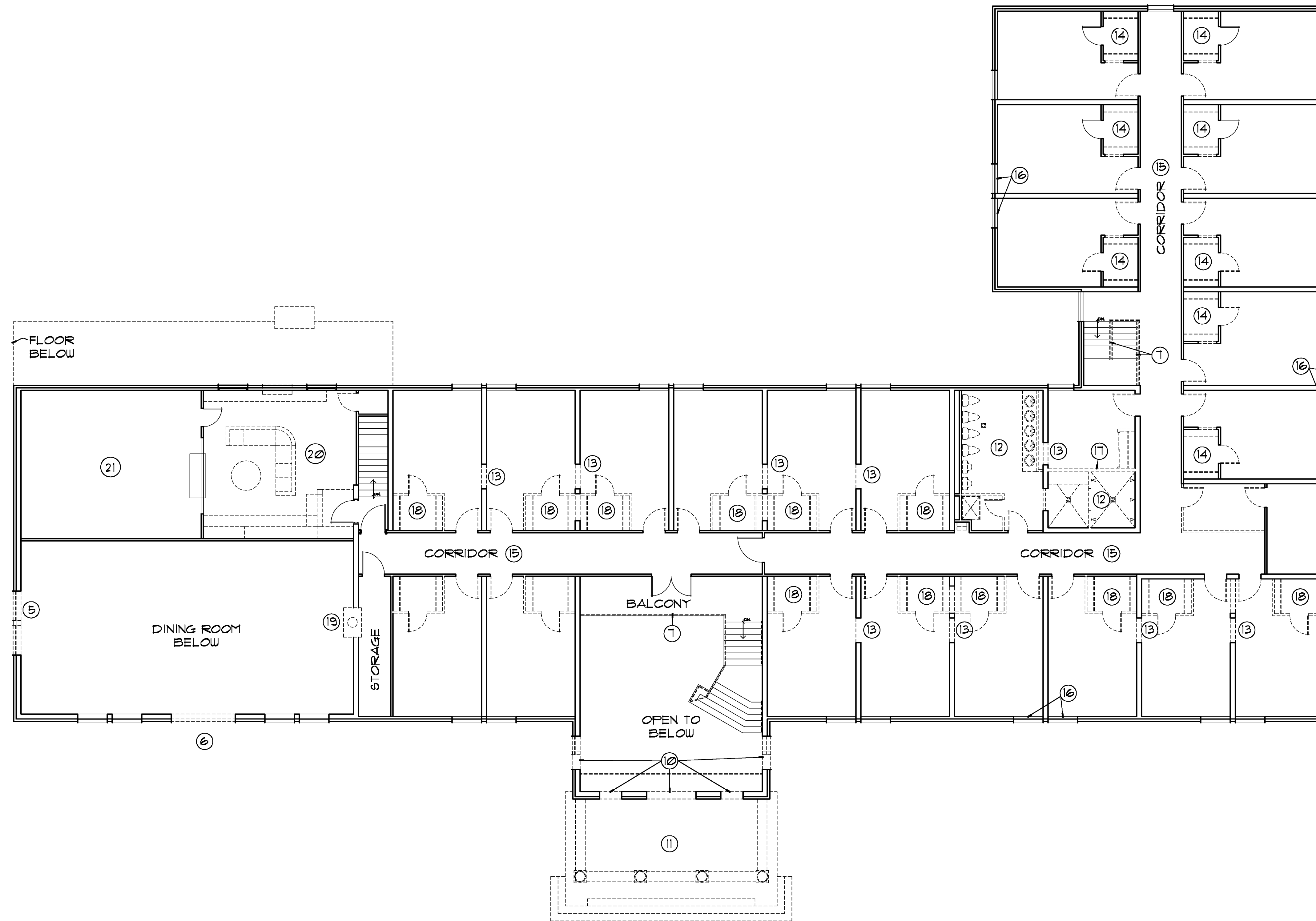
Beta Chi of Kappa Sigma
Rolla Missouri

**FIRST FLOOR
DEMOLITION PLAN**

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SECOND FLOOR DEMOLITION PLAN

1/8" = 1'-0"

DEMOLITION KEY NOTES-FLOOR PLANS

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2. REMOVE ANY TOILET FIXTURES AND DOORS THIS CLOSET FOR FUTURE MOP SINK AND STORAGE
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4. COORDINATE ANY DEMOLITION AND FIXTURE REMOVAL IN THE KITCHEN AREA WITH THE KITCHEN DESIGN PLAN. REMOVE ALL EQUIPMENT DESIGNATED TO BE REMOVED AND ALL FLOOR, WALL AND CEILING FINISHES AS ARE ACCESSIBLE. EQUIPMENT DESIGNATED NOT TO BE REMOVED (IE. HOOD AND FIRE SUPPRESSION SYSTEM) SHALL BE COVERED AND PROTECTED DURING DEMOLITION.
5. EXISTING WINDOW CONFIGURATION TO BE REMOVED AS REQ'D FOR NEW SMALLER DOOR OPENINGS (SEE FIRST FLR PLAN)
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7. Remove and salvage existing millwork/moldings where applicable for possible reuse.

date: 05/11/10

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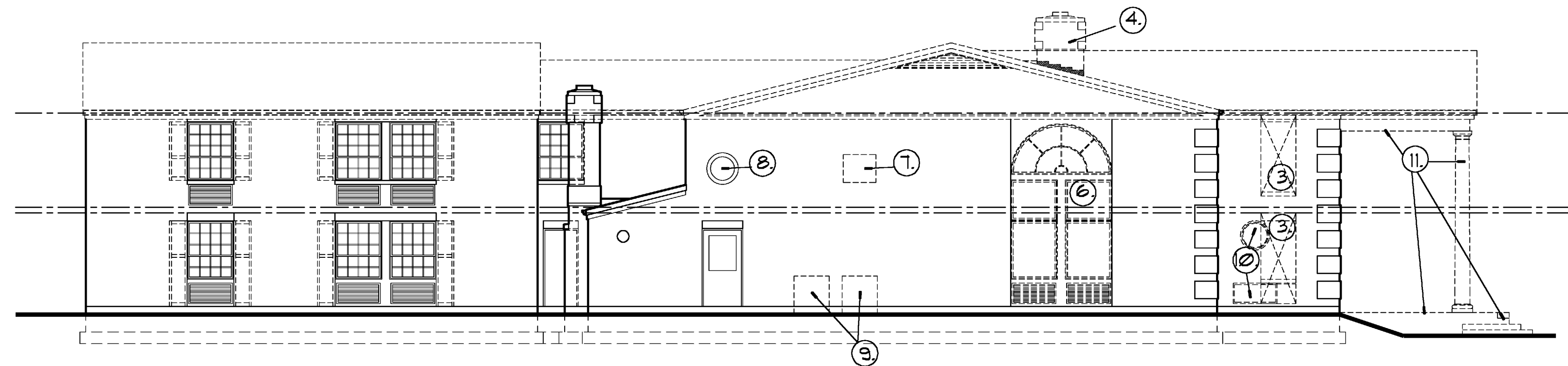
CONSTRUCTION DRAWINGS OF:
Beta Chi of Kappa Sigma
Rolla Missouri

**SECOND FLOOR
DEMOLITION PLAN**

sheet:

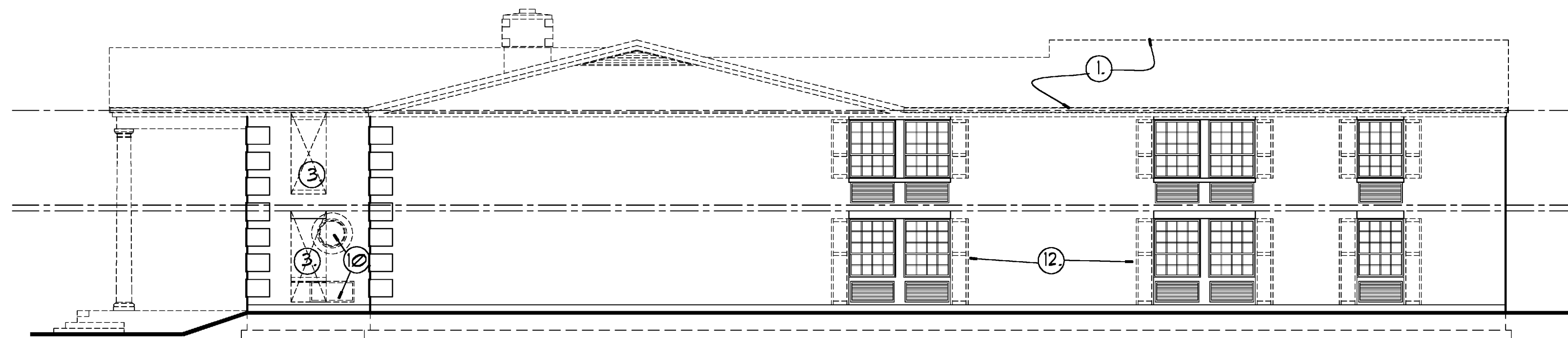
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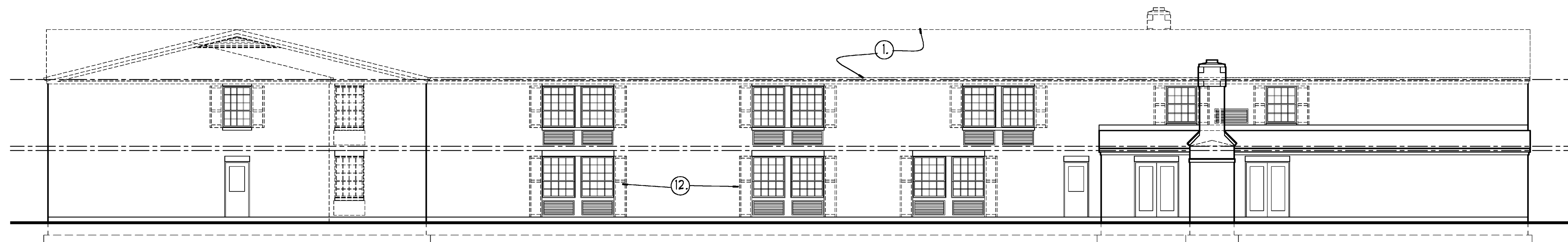
LEFT SIDE ELEVATION DEMOLITION

1/8" = 1'-0"



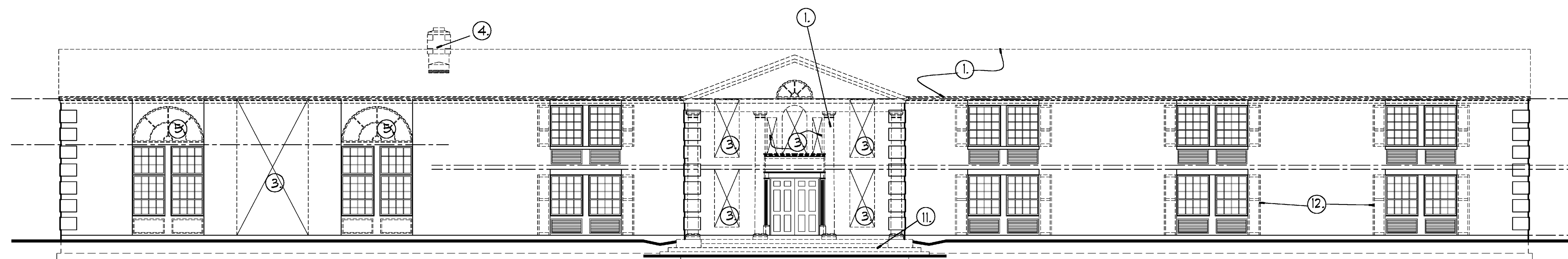
RIGHT SIDE ELEVATION DEMOLITION

1/8" = 1'-0"



REAR ELEVATION DEMOLITION

1/8" = 1'-0"



FRONT ELEVATION DEMOLITION

1/8" = 1'-0"

DEMOLITION KEY NOTES-ELEVATIONS

1. ITEMS SHOWN DASHED TO BE REMOVED (TYP.)
2. FIELD DETERMINE AMOUNT OF EXISTING TRUSS REMOVAL AND NEW TRUSS MANUF. REQUIREMENTS
3. NEW OPENING IN THIS EXISTING MASONRY WALL SEE THE STRUCTURAL DOCUMENTS FOR DETAILS AND SUPPORT CONDITIONS
4. REMOVE THE MASONRY CHIMNEY AS REQUIRED TO BE CONTAINED WITHIN NEW ROOF FRAMING AND CAP.
5. REMOVE PANEL ABOVE AND BELOW EXISTING WINDOWS, SEE STRUCTURAL DRAWINGS FOR NEW MASONRY INFILL AND SUPPORT CONDITIONS
6. EXISTING WINDOW CONFIGURATION TO BE REMOVED AS REQ'D FOR NEW SMALLER DOOR OPENING (SEE FIRST FLR PLAN)
7. RELOCATE EXHAUST HOOD AS REQUIRED
8. EXISTING EXHAUST HOOD TO REMAIN
9. RELOCATE CONDENSING UNITS AS REQUIRED
10. REMOVE EXISTING WINDOWS OR MECHANICAL UNITS AND PROVIDE MASONRY INFILL
11. REMOVE EXISTING COVERED PORCH STRUCTURE AND CONCRETE BASE SLAB AND STEPS
12. REMOVE EXISTING WINDOW SHUTTERS (TYP.)

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**DEMOLITION
ELEVATIONS**

sheet:
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